

**MARCH 2 2021 7PM ZOOM PLANNING BOARD AGENDA
CONDUCTED WITH ZOOM
MARCH 02, 2021 7:00 PM – TUESDAY**

Join Zoom Meeting

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 261 009 5007

Password 281 797

Please take notice that the Manasquan Planning Board will convene a remote meeting on March 02, 2021 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

RESOLUTION

APPLICATION

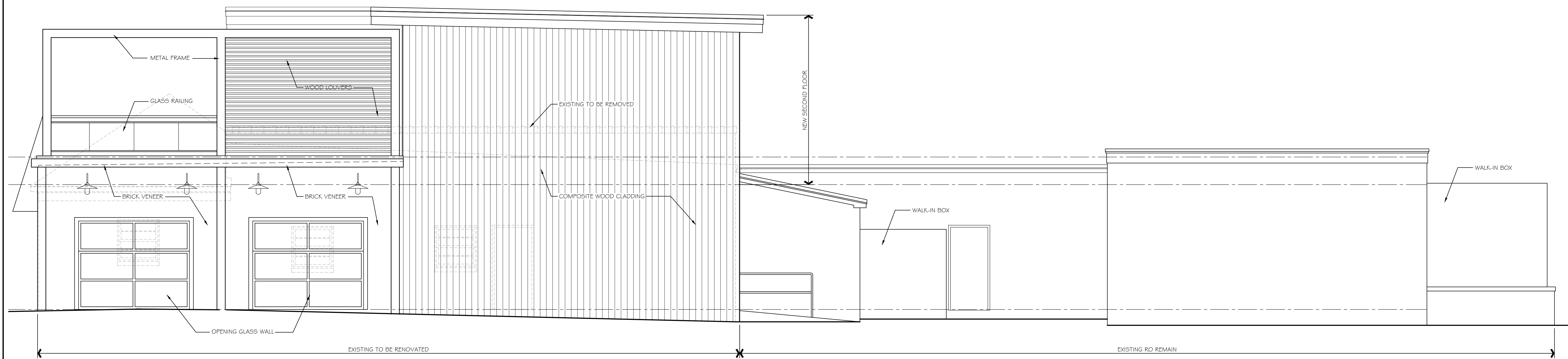
1. 15-MINUTE PRESENTATION COMMITTED PIG MAIN STREET
2. #33-2020 SHALOM STEVEN 53 ROGERS AVENUE
3. #11-2020 KANE PATRICK 188 THIRD AVENUE

OTHER BUSINESS

Comments from individual board members

4. EXECUTIVE SESSION - ATLANTIC VIEW CEMETERY PROJECT

ADJOURNMENT



1 RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

BUILDING CODE - IBC 2018 NJ

USE GROUP	A-2
CONSTRUCTION CLASS	VB
NUMBER OF HABITABLE STORIES	2
MAX. BUILDING HEIGHT	24'-4 1/2"
CURBATURE OF ADDITION	11.616 C.F.
BUILDING FOOTPRINT	3,406 S.F.
1ST FLOOR AREA	3,406 S.F.
2ND FLOOR AREA	1,056 S.F.
TOTAL HABITABLE AREA	4,462 S.F.
OUTDOOR DINING	1,082 S.F.
OCCUPANT LOAD	
1ST FLOOR	108
2ND FLOOR	102

ZONING INFO. B-1

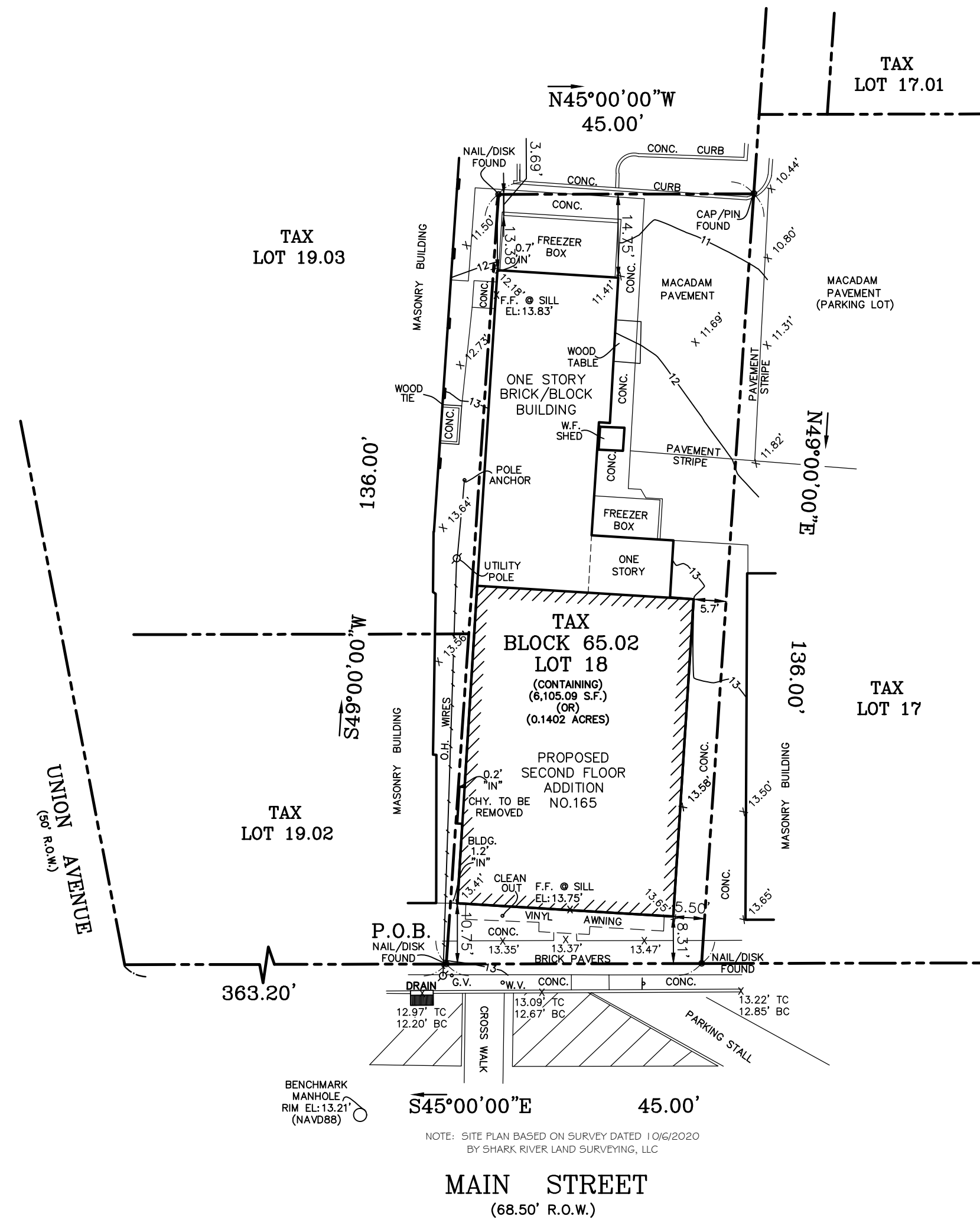
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	5,000 S.F.	6,105 S.F.	6,105 S.F.
LOT WIDTH:	30 FT.	45 FT.	45 FT.
FRONT YARD:	10 FT.	8.31 FT.*	8.31 FT.**
REAR YARD DEPTH:	5 FT.	3.69 FT.*	3.69 FT.**
SIDE YARD DEPTH:	0 FT.	0.7 FT.	0.7 FT.
MAXIMUM HEIGHT (STORIES):	3	1	2
MAXIMUM HEIGHT (FT.):	40 FT.	17.46 FT.	24.37 FT.

AREA CALCULATIONS

	REQUIRED	EXISTING	PROPOSED
LOT AREA:		6,105 S.F.	6,105 S.F.
PRIMARY STRUCTURE:		3,432 S.F.	3,427 S.F.
ACCESSORY STRUCTURES (WALK-IN BOXES):		278 S.F.	278 S.F.
BUILDING COVERAGE:	2,448 S.F. (40.0%)	3,710 S.F.* (60.8%)	3,705 S.F.* (60.7%)
BUILDING COVERAGE:		3,710 S.F.	3,705 S.F.
BITUMINOUS DRIVE:		1,110 S.F.	1,110 S.F.
CONCRETE:		873 S.F.	873 S.F.
BRICK PAVERS:		205 S.F.	205 S.F.
TOTAL IMPERVIOUS COV.:	3,672 S.F. (60.0%)	5,898 S.F.* (96.6%)	5,893 S.F.* (96.5%)



2 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



3 SITE PLAN
 SCALE: 1" = 20'-0"

APPROVED BY THE
 BOROUGH OF MANASQUAN
 PLANNING BOARD

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

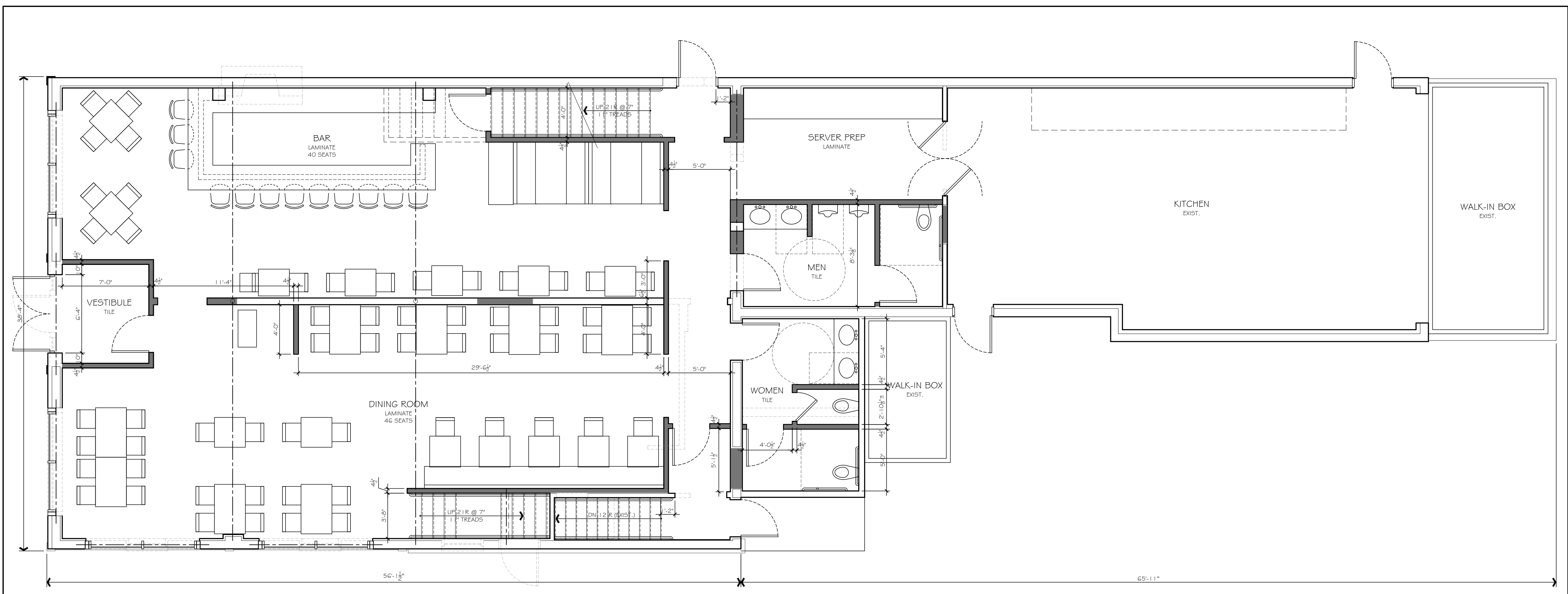
ENGINEER _____ DATE _____

**PROPOSED ADDITION & ALTERATION FOR:
 THE COMMITTED PIG**
 165 MAIN STREET
 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ

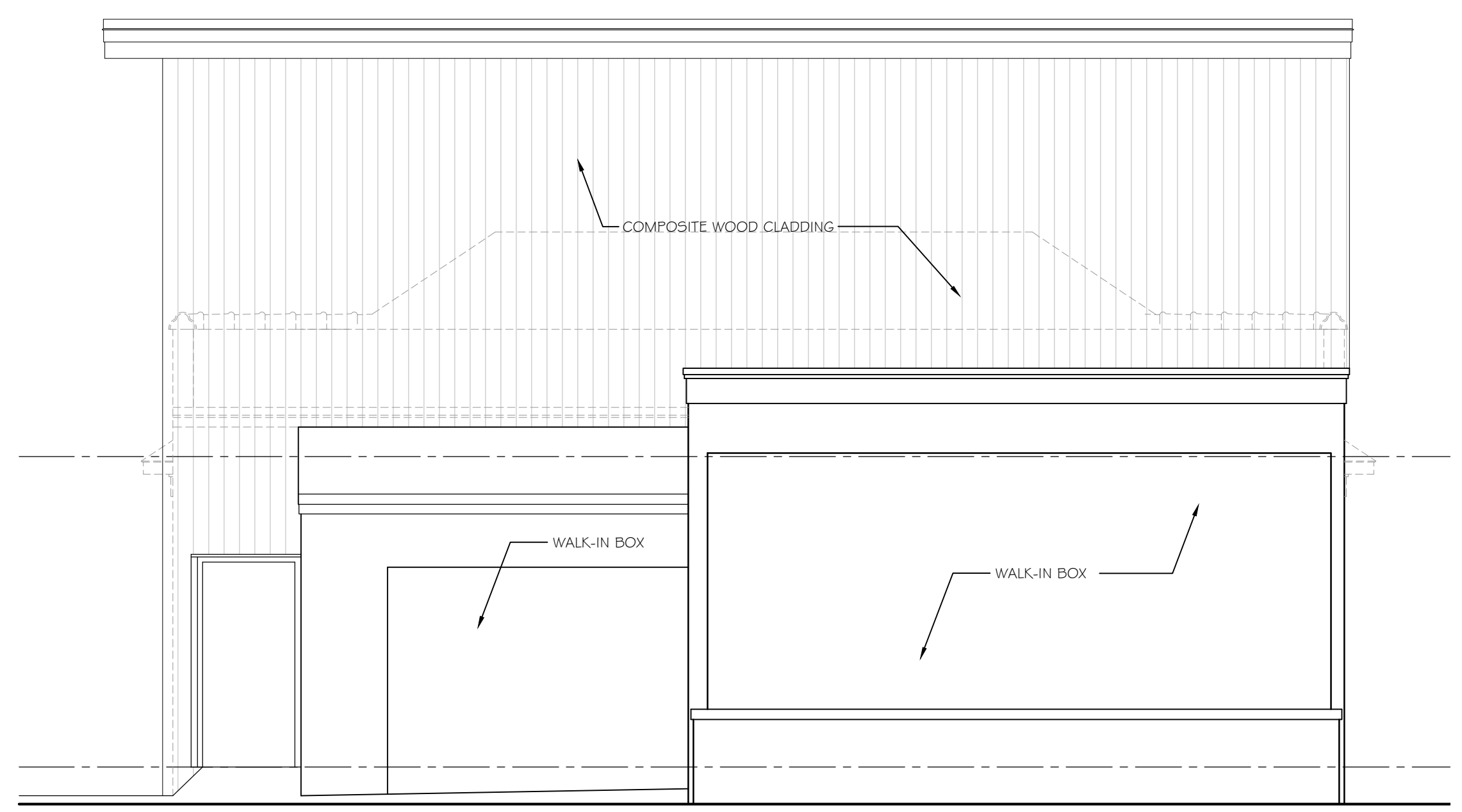
DWG. TITLE:
 FRONT & RIGHT SIDE
 ELEVATIONS
 SITE PLAN

DATE: OCT. 19, 2020
 REVISIONS:
 FEB. 22, 2021

JOB NO.: 20-15
 DWG. NO.: A1
 DRAWN BY: VLF
 OF 3



1
A2 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 AREA: 3,406 S.F.



2
A2 REAR ELEVATION
 SCALE: 1/4" = 1'-0"

APPROVED BY THE
 BOROUGH OF MANASQUAN
 PLANNING BOARD

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

REGISTERED ARCHITECT
 STATE OF NEW JERSEY #21A01376000
 NEW JERSEY BUSINESS
 REGISTRATION CERTIFICATE #0729866

**PROPOSED ADDITION & ALTERATION FOR:
 THE COMMITTED PIG**
 165 MAIN STREET
 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ

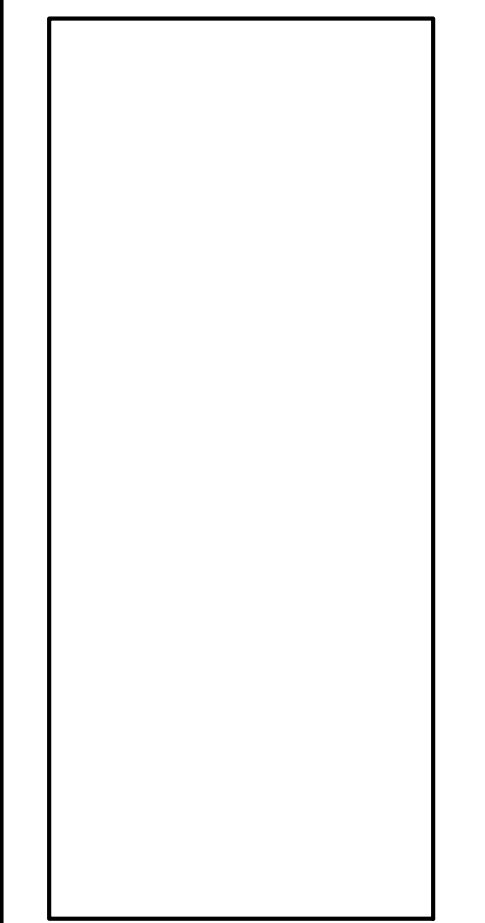
DWG. TITLE: FIRST FLOOR PLAN & REAR ELEVATION

DATE: OCT. 19, 2020

REVISIONS:

JOB NO: 20-15	DWG. NO: A2
DRAWN BY: VLF	OF 3

FELTZ & FRIZZELL
Architects LLC
 2315 BRIDGE AVE. PT. PLEASANT, NJ 08742
 (732) 982-0200 FAX: (732) 982-0209



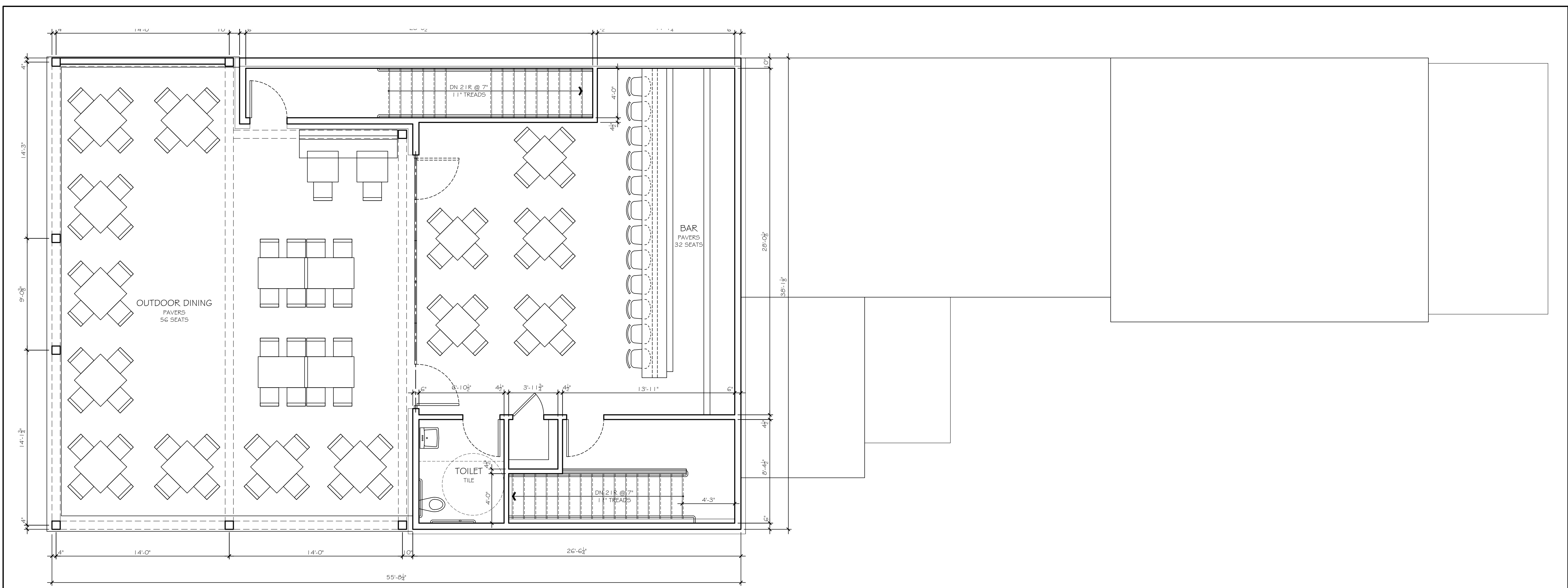
REGISTERED ARCHITECT
 STATE OF NEW JERSEY #21A01376000
 NEW JERSEY BUSINESS
 REGISTRATION CERTIFICATE #0729966C

PROPOSED ADDITION & ALTERATION FOR:
THE COMMITTED PIG
 165 MAIN STREET
 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ

DWG. TITLE:
 SECOND FLOOR PLAN

DATE:	OCT. 19, 2020
REVISIONS:	FEB. 22, 2021

JOB NO:	DWG. NO:
20-15	A3
DRAWN BY:	OF
VLV	3



1
A3 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 ENCLOSED AREA: 1,056 S.F.
 OUTDOOR DINING: 1,082 S.F.

APPROVED BY THE
 BOROUGH OF MANASQUAN
 PLANNING BOARD

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

December 18, 2020

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1400
Minor Subdivision – Shalom
Block 152, Lot 2.01
53 Rogers Avenue
R-3 Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Minor Subdivision Plan prepared by Paul Lynch, PLS, dated November 27, 2020.

Existing Lots 2.01 contains 7,016 square feet and fronts on Rogers Avenue. With this application, the applicant intends to create two lots, one containing 3,520 square feet and one containing 3,496 square feet, both with frontage on Rogers Avenue.

The application is deemed complete as of December 18, 2020.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-3 - Residential Zone, where the existing and proposed residential lots are permitted.
2. The following bulk ('c') variance is required as part of this application:
 - a. A minimum lot frontage of 40 feet is required, whereas a frontage of 33.01 feet is proposed for Lot 2.02.
 - b. A minimum lot frontage of 40 feet is required, whereas a frontage of 33.01 feet is proposed for Lot 2.03.
3. It appears that the existing dwelling is proposed to be removed. The applicant should confirm that it will be removed or request the appropriate side yard setback variance that will be created from the new lot line. If it will be removed, I recommend that the Board require the dwelling be removed prior to the filing of the subdivision.



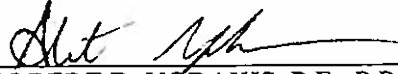
Re: Boro File No. MSPB-R1400
Minor Subdivision – Shalom
Block 152, Lot 2.01

December 18, 2020
Sheet 2

4. The plan provides front yard setback averaging for the surrounding lots however no proposed dwellings are proposed as part of the application. The calculations for the averaging will need to be provided as part of a zoning application for either of the proposed dwellings if they propose to use the averaging standard.
5. The subdivision plat indicates that the subdivision is to be filed by deed. Copies of the deeds and deed descriptions must be submitted to our office and the Board Attorney for review. The deed descriptions must be prepared by a Professional Land Surveyor licensed in the State of New Jersey.
6. A monument must be set at the intersection of the proposed lot line and the existing right-of-way. I suggest the monument be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If they are proposed to be set after the perfection of the subdivision, a bond must be posted with the Borough.
7. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required. Grading plans will also be required.
8. Separate water and sewer utility connections will be required for both of the proposed lots.
9. The proposed dwellings will need to replace the curb and sidewalk as necessary for any new driveway apron locations. A street excavation permit will be required for any new apron and depressed curb located within the borough right-of-way.
10. The proposed revised lot numbers should be reviewed and approved by the tax office.
11. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jj



Re: Boro File No. MSPB-R1400
Minor Subdivision – Shalom
Block 152, Lot 2.01

December 18, 2020
Sheet 3

cc: George McGill, esq., Planning Board Attorney
C. Keith Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
Paul Lynch, PLS
PO Box 1453, 2510 Belmar Boulevard, Wall, NJ 07719
Steven Shalom
640 Ocean Avenue, Long Branch, NJ 07740

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736



Item 2.

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 152 Lot: 2.01 Zone: R-3
Shalom – 53 Rogers Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the buildings and structures on the property and subdivide Block 152, Lot 2.01 into two nonconforming lots in the R-3 Zone. (Proposed lot 2.02), (Proposed Lot 2.03)

Minor Subdivision plot plan prepared by Paul Lynch on October 7, 2019.

Application denied for the following reason(s):

Proposed Lot 2.02:

Section 35-9.4 – Lot Frontage - 40ft. Required
33.01ft. Proposed

Proposed Lot 2.03:

Section 35-9.4 – Lot Frontage – 40ft. Required
33.01ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

Richard Furey
Zoning/Code Enforcement Officer

Borough of Manasquan

Zoning Permit Application

Required documentation:

- Accurate survey of the property.
- Affidavit re: accuracy of survey
- Application must be complete and signed
- Site plan for the proposed project
- Building or conceptual plans for the proposed project

Fee: \$ _____

Cash/Check: _____

Date Received: _____

Block: 177, Lot: 30, Zone: R-3

Work Site Location: 188 THIED AVE

Owner/Applicant: PATRICK + KERSTINA KANE / ATLANTIC MODULAR BUILDERS

Address: 75 TAYLOR AVE. MANASQUAN, NJ 08736

Telephone: Home: 732.528.851A, Business: _____, Cell: _____

Present Use: Single Family: , Multi-Family: _____, Commercial: _____ Other: _____

Existing Accessory Buildings: Detached garage: _____, Shed: _____, Pool: _____, Cabana: _____
Dog run: _____, Other: _____

Proposed Use: SINGLE FAMILY NEW CONSTRUCTION DWELLING

Description of proposed work: REPLACE EXISTING HOME; REPLACE W/ FLOOD
ZONE COMPLIANT NEW CONSTRUCTION SINGLE FAMILY DWELLING

Previous Zoning Application: Yes: _____, No: , Date: _____

Brief Description: _____

Lot:

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>	<u>Variance</u>
Frontage:	<u>40'</u>	<u>30'</u>	<u>30'</u>	<u>*</u>
Depth:	_____	_____	_____	_____
Area:	<u>3400</u>	<u>2402</u>	<u>2402</u>	<u>*</u>
Width:	_____	_____	_____	_____

Principal Building:

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>	<u>Variance</u>
Front Setback:	12.17 (AVG)	11.14	11.0	
Rear Setback:	20'	1.60	5.10	*
Side Setback ()	5'	2.92'	3.25'	*
Side Setback ()	5'	1.79'	3.25'	*
Building Height	33'	<33'	32.68'	
# Stories	2 1/2	1	2	

Accessory Building or Structure

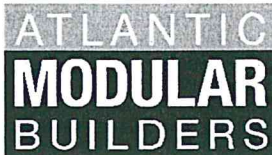
Front Setback:	_____	_____	_____	_____
Rear Setback:	_____	_____	_____	_____
Side Setback ()	_____	_____	_____	_____
Side Setback ()	_____	_____	_____	_____
Height:	_____	_____	_____	_____
Area:	_____	_____	_____	_____
Curb Cut:	12	12	12	_____
Parking:	2	1	4	_____

Building Coverage: Permitted: 35%, Existing: 35.35%, Proposed: 41.09%, Variance: *

Lot Coverage: Permitted: 30%, Existing: 18.33%, Proposed: 41.09%, Variance: _____

Applicant: [Signature] Date: 11/16/20

Zoning Officer: Approved / Denied: _____ Date: _____



75 Taylor Avenue, Manasquan, NJ 08736
(732) 528-8514
Ryan@AMBmodular.com

11/16/20

Mr. Richard Furey
Borough of Manasquan Zoning Dept.
201 East Main Street
Manasquan, NJ 08736

Re: 188 Third Avenue
Manasquan, NJ 08736
Block: 176 / Lot 68

Dear Mr. Furey,

Enclosed, please find documentation for a proposed new construction single family dwelling located at 188 Third Avenue in Manasquan:

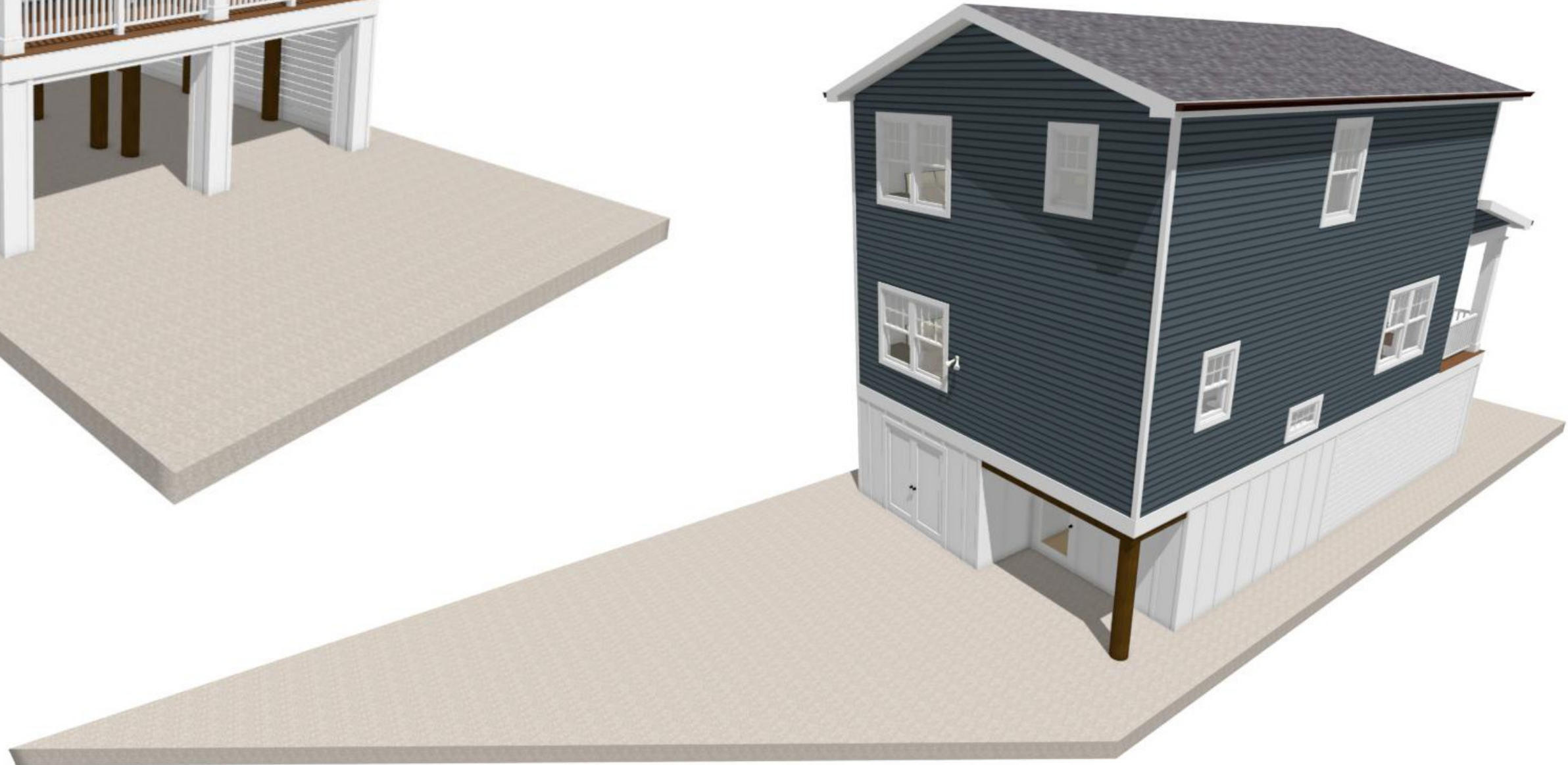
1. (x2) Topographic Surveys complete with average front yard setback prepared by Ragan Land Surveying
2. (x2) Proposed Site plans prepared by KBA Engineers
3. (x2) Conceptual House Plans prepared by Atlantic Modular Builders
4. Manasquan Zoning Application
5. Check in the amount of \$125.00, payable to The Borough of Manasquan

It has come to our attention that variances will be necessary for this project to be completed. We believe the following variances will be required:

- Lot Frontage: 40' required / 30' existing
- Lot Area: 3,400 sq ft required / 2,402 sq ft existing
- Side Yard Setbacks: 5' & 5' required / 3.25' & 3.25' proposed
- Rear Yard Setback: 20' required / 5.10' proposed
- Building Coverage: 35% required / 41.09% proposed

It would be greatly appreciated if an official letter of denial would be prepared by your office for the above necessary variances and any additional ones that may be required. Please let me know if you have any questions, comments or concerns. The best way to reach me is either by the email above, or my office, (732) 528-8514.

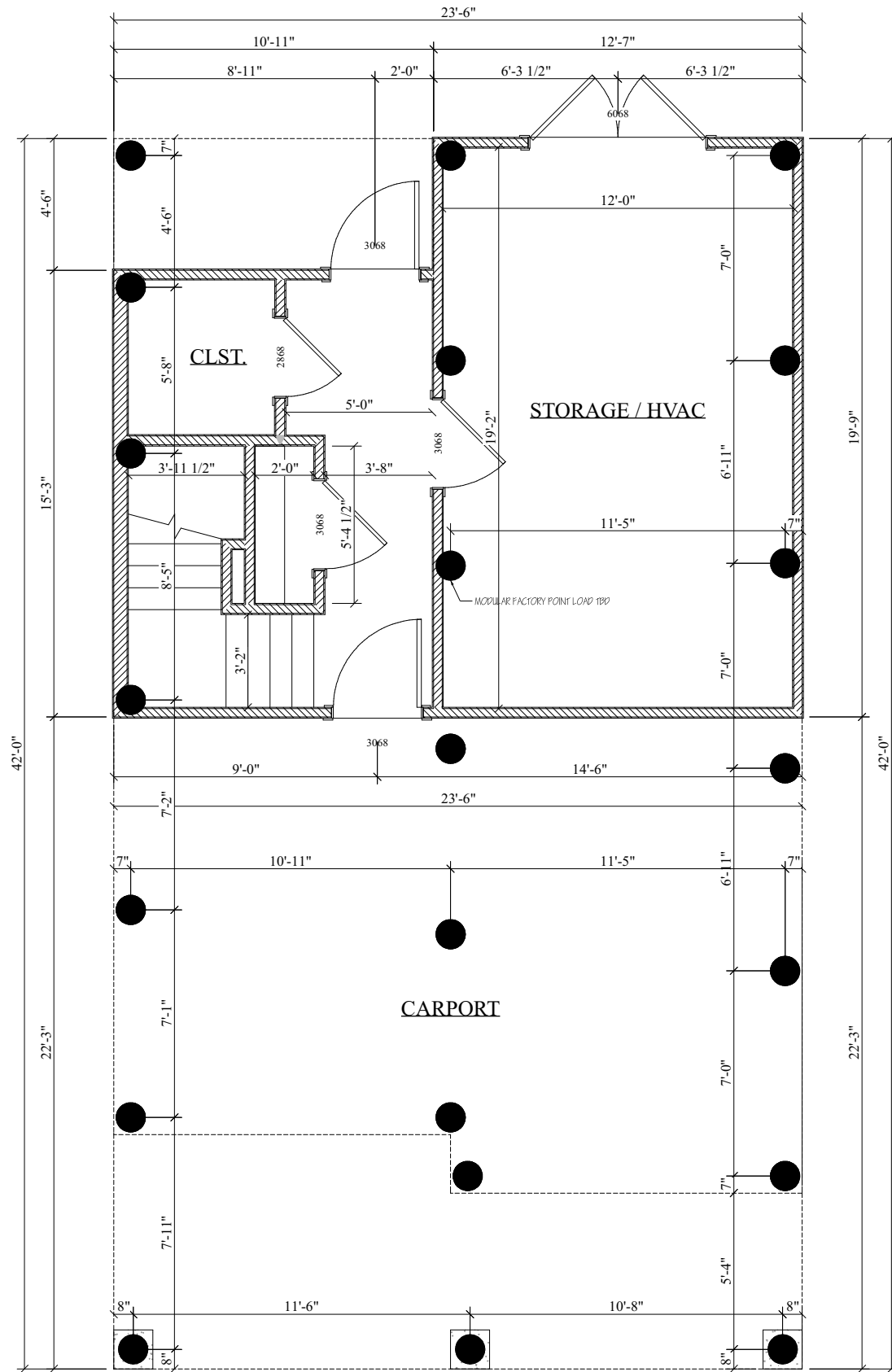
Sincerely,
Ryan S. Meyers



KANE RESIDENCE

188 THIRD AVE, MANASQUAN
BLOCK - 177 / LOT - 30

DATE:
12/22/2020



FOUNDATION PLAN

SCALE 3/16" = 1'-0"

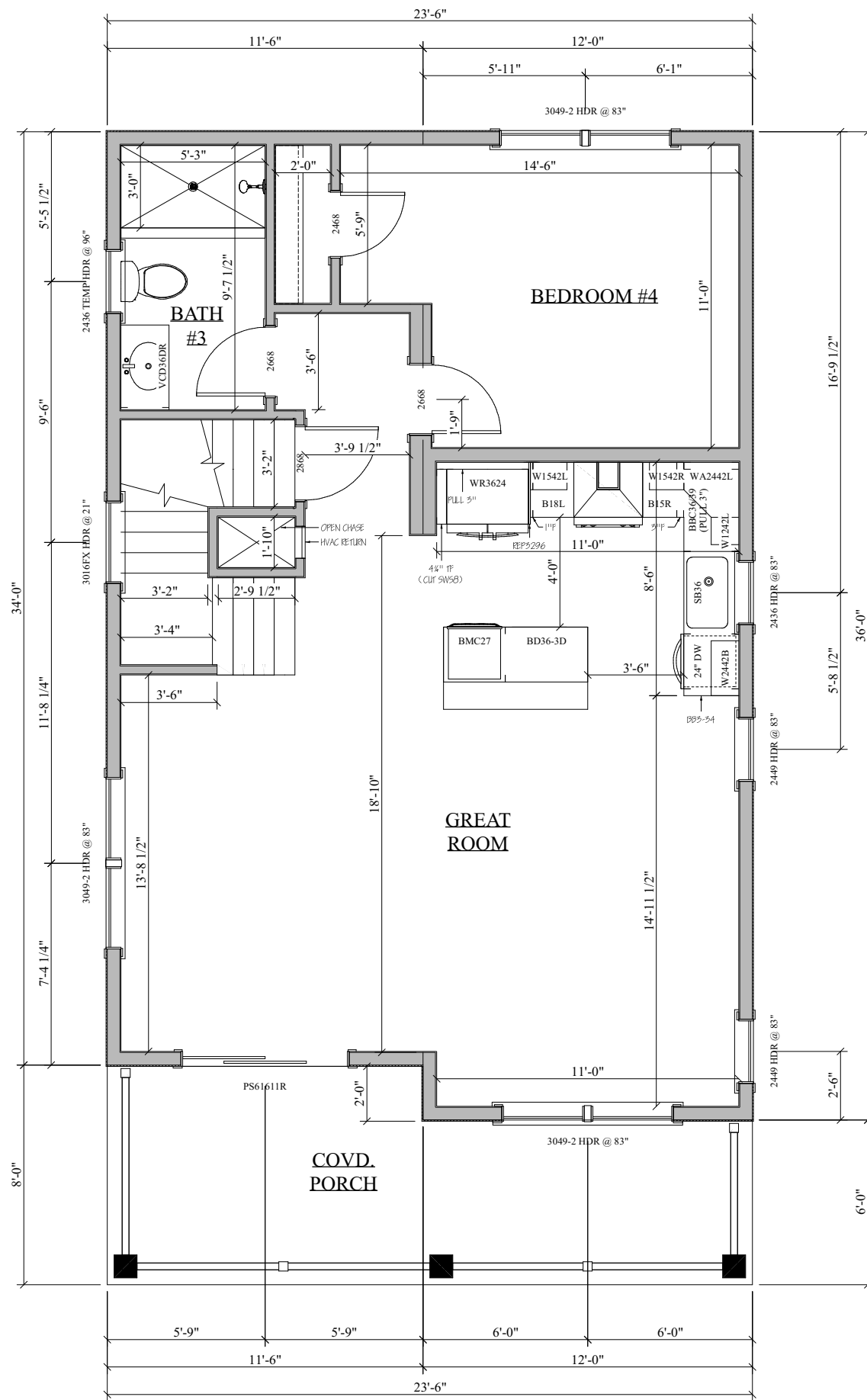
ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

KANE RESIDENCE

188 THIRD AVE, MANASQUAN
BLOCK - 177 / LOT - 30

DATE:
12/22/2020



FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"

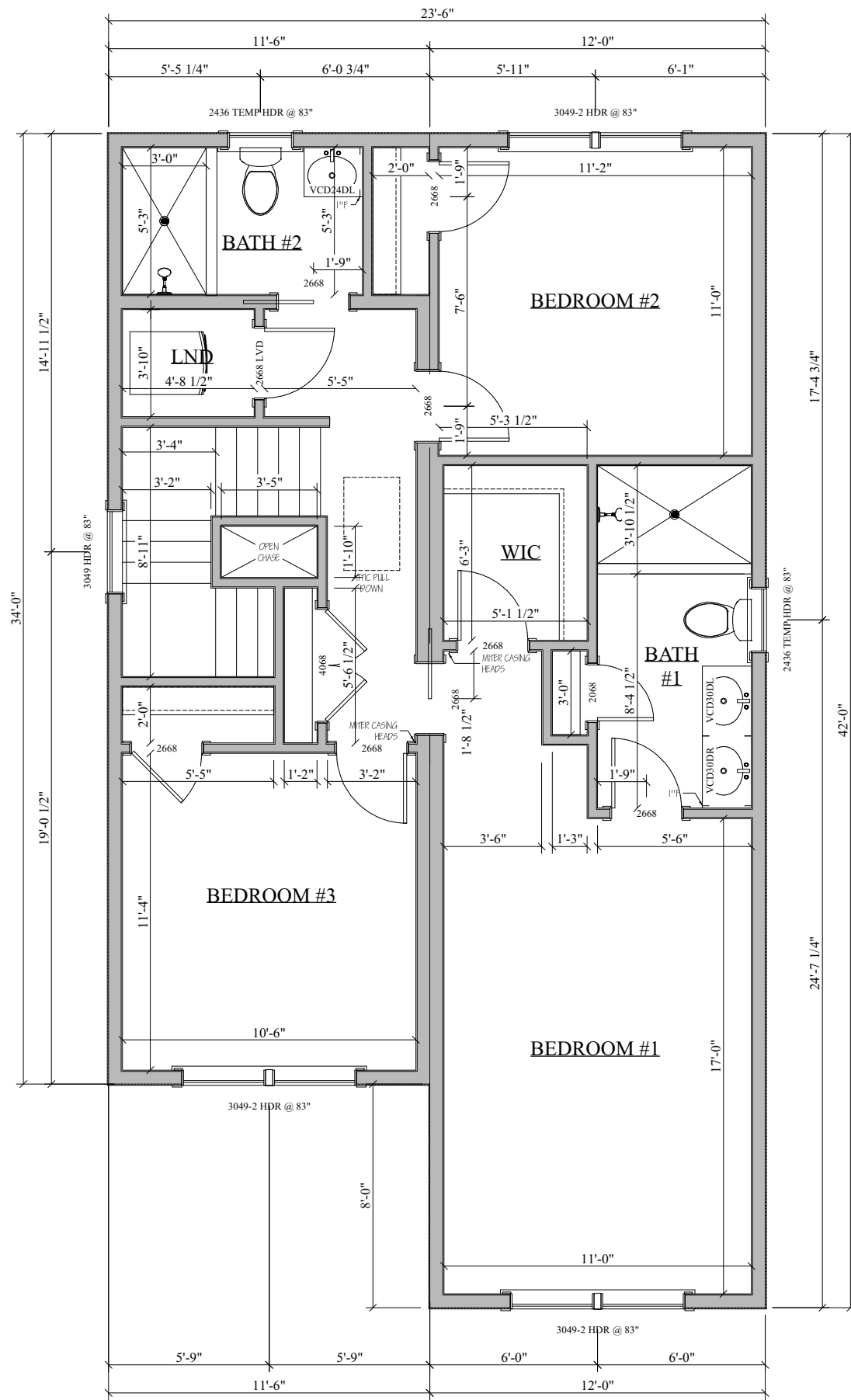
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RYAN@AMBMODULAR.COM

KANE RESIDENCE

188 THIRD AVE, MANASQUAN
BLOCK - 177 / LOT - 30

DATE:
12/22/2020



SECOND FLOOR PLAN

SCALE 3/16" = 1'-0"

ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM

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RYAN@AMBMODULAR.COM

KANE RESIDENCE

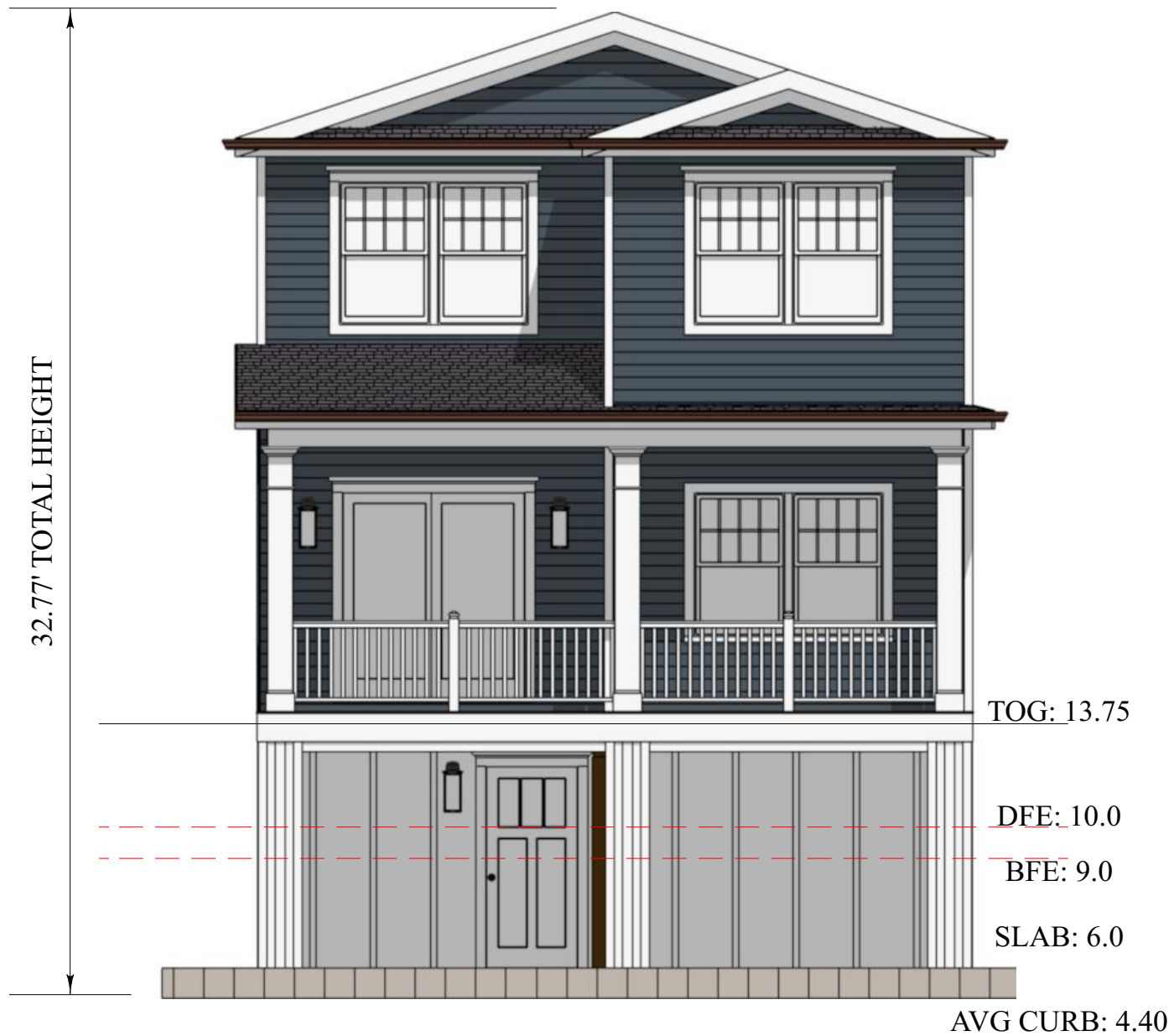
188 THIRD AVE, MANASQUAN
BLOCK - 177 / LOT - 30

DATE:
12/22/2020

KANE RESIDENCE

188 THIRD AVE, MANASQUAN
 BLOCK - 177 / LOT - 30

DATE:
 12/22/2020



FRONT ELEVATION

SCALE 3/16" = 1'-0"



REAR ELEVATION

SCALE 3/16" = 1'-0"



RIGHT ELEVATION

SCALE 3/16" = 1'-0"

ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

KANE RESIDENCE

188 THIRD AVE, MANASQUAN
BLOCK - 177 / LOT - 30

DATE:
12/22/2020



LEFT ELEVATION

SCALE 3/16" = 1'-0"

ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

KANE RESIDENCE

188 THIRD AVE, MANASQUAN
BLOCK - 177 / LOT - 30

DATE:
12/22/2020

GENERAL NOTES
 PROPERTY TO BE SHOWN AS BLOCK 177, LOT 30 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASSAUN, MONMOUTH COUNTY, NEW JERSEY. DOUBLE LINES (LINES 2 & 3)
 APPLICANT: PATRICK KANE, KANE ENGINEERING SERVICES LLC, MANASSAUN, NJ
 APPLICANT PROPOSED TO CONSTRUCT NEW 2 STORY DWELLING

DESCRIPTION	EXISTING	REQUIRED/PERMITTED	ZONE R-3
BUILDING USE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
LOT AREA	* 2,402 S.F.	3,400 S.F.	3,400 S.F.
MIN. LOT FRONTAGE	* 30.0 FT.	40 FT.	40 FT.
MIN. LOT DEPTH	114.0 FT.	50 FT. (21' AVERAGE)	50 FT.
REAR YARD SETBACK	* 11.0 FT.	20 FT.	20 FT.
REAR YARD SETBACK	* 11.0 FT.	20 FT.	20 FT.
PRINCIPAL BUILDING COVERAGE	35 %	35 %	35 %
MAX. TOTAL IMPERVIOUS	33 FT. (2.5 STY)	48.33 % (1,811 SF)	41.09 % (989 SF)
MAX. BLDG. HEIGHT	< 33 FT.	33 FT.	33 FT.
MIN. BLDG. HEIGHT	> 80 S.F.	80 S.F.	80 S.F.
MIN. CRRB OUT WIDTH	12 FT.	80 S.F. or 108 1/4' FLOROR	12 FT.
		12 FT.	12 FT.

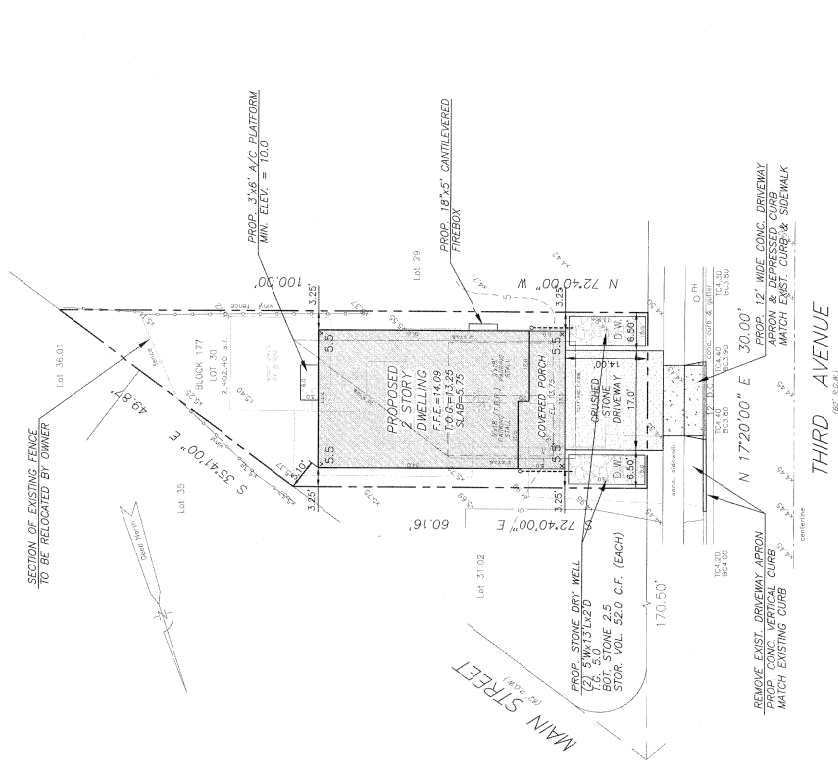
EXISTING COVERAGE
 EXIST. IMBUDING = 644 S.F.
 EXIST. CONC DRIVEWAY/PORCH = 307 S.F.
 TOTAL = 951 S.F.

PROPOSED COVERAGE
 EXIST. IMBUDING = 644 S.F.
 EXIST. CONC DRIVEWAY/PORCH = 307 S.F.
 TOTAL = 951 S.F.

DUAL NOTES
 1. FOUNDATIONS AND WATER SERVICES TO REMAIN AND TO BE REUSED.
 2. ELEVATIONS BASED ON 1988 M.A.S.D. - ELEV. 8.0 PER FEMA PRELIMINARY FIRM MAPS
 3. PROPERTY IS LOCATED IN ZONE "R-3" - ELEV. 8.0 PER FEMA PRELIMINARY FIRM MAPS
 4. HOUSE HEIGHT NOT TO EXCEED 33 FT. ABOVE TOP OF CURB ELEVATION

BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY RAGAN LANG SURVEYING, P.C. DATED 9/7/2020.

MAX. BUILDING HEIGHT CALCULATIONS
 TOP OF CURB = 13.25
 - HOUSE CEILING = 23.53
 - HOUSE EAVES = 23.53
 - MAX. CURB = 4.00
 - HOUSE HEIGHT = 32.88
 (MAX. ALLOWABLE HEIGHT = 33.0)



THIRD AVENUE (80' 50.00')

MAIN STREET (80' 50.00')

SECTION OF EXISTING FENCE TO BE RELOCATED BY OWNER

PROP. 3\"/>

PROP. 18\"/>

PROP. 12\"/>

REMOVE EXIST. DRIVEWAY APRON

REMOVE EXIST. DRIVEWAY CURB

MATCH EXISTING CURB

MATCH EXIST. DRIVEWAY & SIDEWALK

PROP. STONE DRY WELL

PROP. STONE BOX



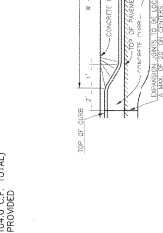
AREA MAP
 SCALE 1" = 300'

AVERAGE FRONT SETBACKS WITHIN 200 FEET

Lot No.	Front Setback
33.01	14.14'
31.02	9.60'
29	25.90'
28	13.79'
27	6.83'
25.03	6.45'
25.01	6.46'

85.22' / 7 = 12.17' Average

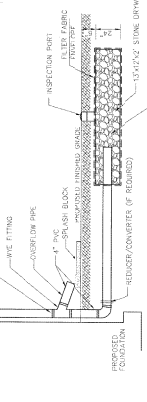
STORMWATER CALCULATIONS
 PROPOSED DWELLING = 887 S.F.
 NUMBS = 1.25' / 2 HRS
 STORAGE VOL. = 13.54 C.F. REQUIRED
 PROPOSED (2) 18" x 24" DEEP STONE PERFORATED STORAGE
 STORAGE VOL. = 52.0 C.F. EACH (104.0 C.F. TOTAL)
 102.8 C.F. REQUIRED - 104.0 C.F. PROVIDED



DETAIL: 18\"/>



DETAIL: DRIVEWAY APRON



DETAIL: CONCRETE DRIVEWAY



DETAIL: CONCRETE SURFACE

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

December 16, 2020

Atlantic Modular Builders
75 Atlantic Avenue
Manasquan, NJ 08736

Re: Block: 177 Lot: 30 Zone: R-3 Flood Zone: AE BFE: 9ft. DFE: 10ft.
Kane – 188 Third Avenue

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Remove all of the buildings and structures on the property and construct a new 2 story single family dwelling.

Survey/front yard average prepared by Robert Ragan on September 1, 2020. Plot plan prepared by Joseph Kociuba on November 3, 2020. Conceptual plans prepared by Atlantic Modular Builders on October 16, 2020.

Application denied for the following reason(s):

Section 35-9.4 – Lot Frontage – 40ft. Required
30ft. Existing

“ - Lot Area – 3,400s.f. Required
2,402s.f. Existing

“ - Rear Setback – 20ft. Required
5.1ft. Proposed

“ - Side Setback (Left) – 5ft. Required
3.25ft. Proposed

“ - Side Setback (Right) – 5ft. Required
3.25ft. Proposed

“ - Building Coverage – 35% Permitted
41.09% Proposed

Section 35- 11.8h – Prohibits a chimney from encroaching more than 18in. into the required side setback area.

Additional required documentation:

- Prior approval from the Shade Tree Committee regarding the removal of any trees on the property.

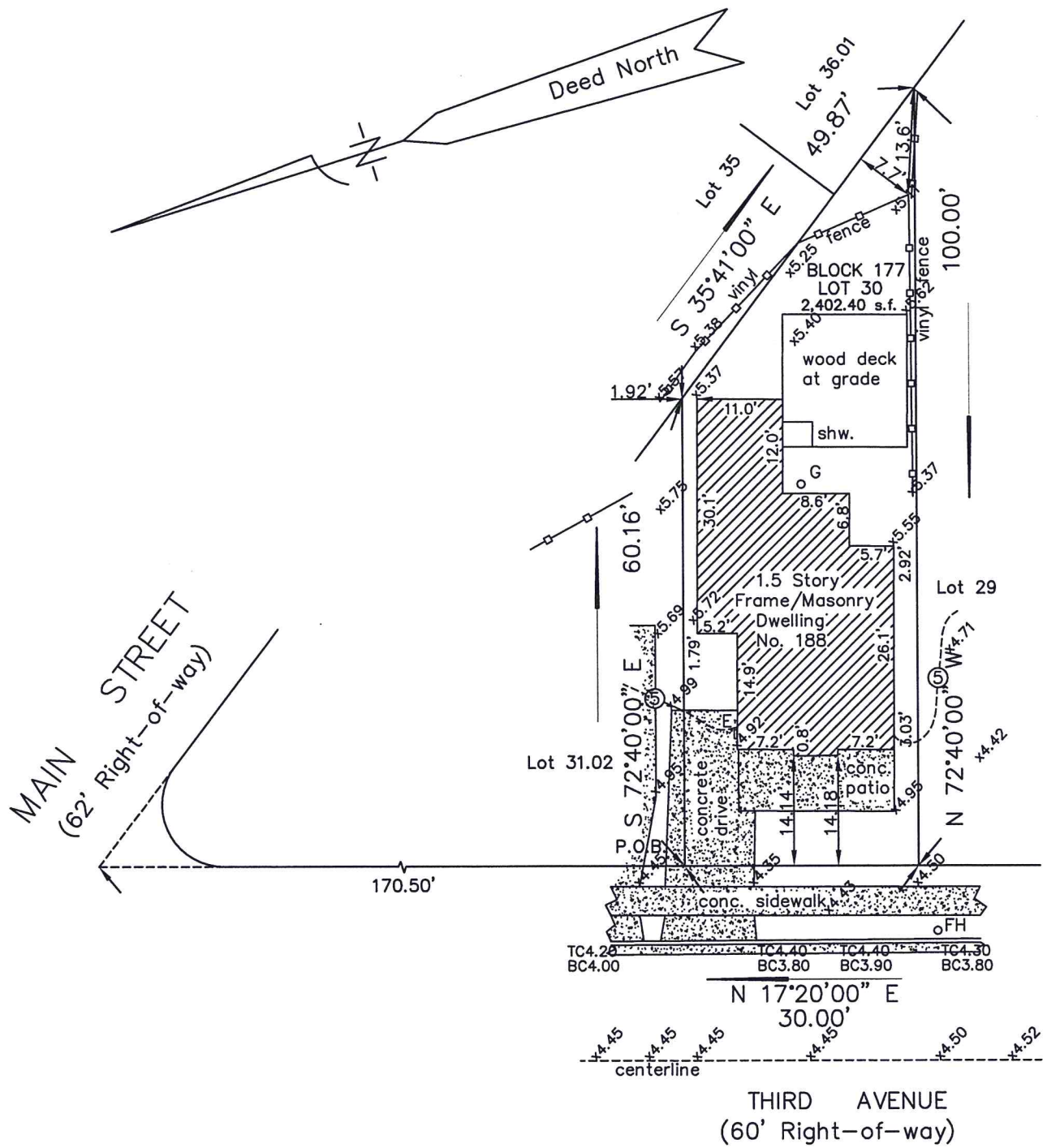
If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED PARTIES FOR THE PURCHASE AND/OR MORTGAGE OF THE HEREIN DELINEATED PROPERTY BY THE ABOVE NAMED PURCHASERS. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE USE OF THE SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF THE SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY. I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THIS SURVEY HAS BEEN ACCURATELY PREPARED ON THE GROUND AND THAT NO VISIBLE ENCROACHMENTS EXIST EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN HEREON. A WRITTEN WAIVER AND DIRECTION NOT TO SET PROPERTY MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14 (C-45:8-36.3) AND N.J.A.C. 13:40-5.1.(d).



AVERAGE FRONT SETBACKS WITHIN 200 FEET

Lot No.	Front Setback
33.01	14.19'
31.02	9.60'
29	25.90'
28	15.79'
27	6.83'
25.03	6.45'
25.01	6.46'

$85.22' / 7 = 12.17'$ Average

NOTES:

- indicates existing spot elevation
- indicates existing grade contour

Elevations shown on this plan are based on the North American Vertical Datum (NAVD) of 1988.

This plan is certified to:
ATLANTIC MODULAR BUILDERS

ROBERT M. RAGAN

NEW JERSEY PROFESSIONAL LAND SURVEYOR LICENSE NO. 38977

REVISIONS NO. DATE	PLAN OF TOPOGRAPHIC SURVEY MADE FOR ATLANTIC MODULAR BUILDERS		
	TAX BLOCK 177 LOT 30 BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY		
	RAGAN LAND SURVEYING P.C. 1913 Cottage Place Wall Township New Jersey Ph. 732-280-7000 Fax 732-280-6900		
	Scale:	Date:	Deed Reference:
	1" = 20'	Sept. 1, 2020	DB- Pg.
			File No.:
			S20-035

January 14, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1420
Variance – Kane
Block 177, Lot 30
188 Third Avenue
R-3 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plan of Topographic Survey prepared by Robert Ragan, PLS, of Ragan Land Surveying, P.C., dated September 1, 2020.
2. Plot Plan prepared by Joseph Kociuba, PE, PP, of KBA Engineering Services, LLC, dated November 3, 2020.
3. Architectural Floorplans and Renderings, prepared by Atlantic Modular Builders, dated December 22, 2020.

The property is located in the R-3 Single-Family Residential Zone with frontage on Third Avenue. With this application, the applicant proposes to construct a new two story, raised dwelling on the existing lot, and associated site improvements. The application is deemed complete as of January 14, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-3 Single Family Residential Zone. The existing and proposed residential use is permitted.
2. The following bulk ('c') variances are required as part of this application:
 - a. A maximum building coverage of 35% is permitted, whereas a building coverage of 41.09% is proposed (35.55 exists).

Re: Boro File No. MSPB-R1420
Variance – Kane
Block 177, Lot 30

January 14, 2021
Sheet 2

- b. A minimum side yard setback of 5 feet is required, whereas a setback of 3.25 feet (north side) is proposed (1.79 feet exists).
 - c. A minimum side yard setback of 5 feet is required, whereas a setback of 3.25 feet, (south side) is proposed (2.92 feet exists).
 - d. A minimum rear yard setback of 20 feet is required, whereas a setback of 5.1 feet is proposed (1.6 feet exists).
3. The following non-conformities exist on Lot 30 and are not proposed to be modified as part of this application:
 - a. A minimum lot area of 3,400 square feet is required, whereas an area of 2,402 square feet exists and is proposed.
 - b. A minimum lot frontage of 40 square feet is required, whereas a frontage of 30 feet exists and is proposed.
4. The proposed front yard setback is 14 feet to the proposed dwelling where 25 feet is normally required. The applicant's surveyor has provided front yard setback averaging calculations which demonstrate that the average setback within 200 feet is 12.17 feet.
5. The applicant proposes the first floor elevation of the dwelling at elevation 14.09 where the current base flood elevation is 9 feet. The proposed building height is 32.68 feet from the top of curb.
6. The applicant proposes new depressed curb and a driveway apron on Third Avenue. A street excavation permit will be required for this construction and the elimination of the existing driveway apron and curb cut.
7. It appears that the minimum two conforming parking spaces are provided, two under the dwelling and additional area in the driveway.
8. A drainage recharge system in accordance with the Borough's stormwater ordinance is proposed in the front yard area. Slotted covers should be provided for the gutter overflows.
9. The existing fence in the rear yard meanders onto the adjacent property but is indicated as to be relocated on the plan.
10. The method of stabilizing the remainder of the lot should be labeled on the plan.
11. The required 80 square feet of enclosed storage space is provided in the ground floor area.
12. A landscaping plan for the front yard area must be provided. It does not appear that any tree will be removed as part of this application.
13. Any new utilities should be located underground if possible.



Re: Boro File No. MSPB-R1420
Variance – Kane
Block 177, Lot 30

January 14, 2021
Sheet 3

14. Any curb and sidewalk must be replaced along Third Avenue and as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Albert D. Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.
MANASQUAN PLANNING BOARD
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Joseph Kociuba, PE, PP
KBA Engineering Services, 2517 Route 35, Bldg E, Suite 203, Manasquan, NJ 08736
Atlantic Modular Builders
75 Taylor Avenue, Manasquan, NJ, 08736

APPLICATION TO THE PLANNING BOARD

Applicant's Name Patrick Kane
 Applicant's Address 75 Taylor Ave, Manasquan, NJ 08736
 Telephone Number 908-242-7474
 (Home and Cell)
 Property Location 188 Third Avenue, Manasquan, NJ 08736
 Block: 177 Lot 30

Type of Application

Bulk Variance, Non-Permitted Use - Conditional Use - Subdivision - Minor
 Subdivision - Major - Site Plan Approval

Date of Zoning Officer's Denial Letter 12/16/20
 Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? yes
 Does the Applicant own any adjoining land? NO
 Are the property Taxes paid to date? yes

Have there been any previous applications to the Planning Board concerning this property? NO
 (Attach copies)

Have there been any previous applications to the Planning Board. If there were please attach copies.

Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach NO

The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent 

Date 12/18/20
